

ADDENDUM # 1

From: Kevin Caison, Facilities Project Manager
To: All Prospective Bidders
Project: RFQ # 17-0219-New Hanover County Health & Human Services Facility
Date: November 2, 2016

This addendum is issued to answer question received in response to “RFQ # 17-0219-New Hanover County Health & Human Services Facility” and is hereby made a part of said Request for Bids to the same extent as though it were originally therein.

1. Has a feasibility study and budget been prepared for this site? Is the total budget \$19m, as mentioned in the newspaper? Yes, a preliminary feasibility study has been done; however, an in depth space study will be part of the scope for the architect that is selected. The preliminary study has been included in this addendum as an attachment “A.” Yes, \$19m is the project budget that we currently have.
2. Is there a target completion date for the project? The target completion date is early 2019.
3. Noticing a state form SF330 is being used for the submission. Does this project report to state construction office and are state funds being used? The Department of Insurance will be doing the plan review but the state is not funding.
4. Please confirm the insurance requirements listed in the RFQ. I have confirmed with NHC Risk Management that the insurance requirements listed are correct.
5. Pages 8-10 includes detailed information. Can you confirm if the county used a consultant to develop this or compiled internally? If consultant, can you share who was hired please? We compiled the information in the RFQ internally.
6. Page 8 noted the existing building at 1650 Greenfield St. houses the Department of Social Services. Is the project expected to be a renovation or new construction or is this something the team will determine with the county as part of the process? The existing building at 1650 Greenfield St. will stay occupied during construction and will become parking lot after the construction of the new facility is completed on the same parcel.
7. Have you considered adjoining sites/area for laydown during construction and wanted to know if the county might own any adjoining property that may be used during construction? Unfortunately, we do not own anything close enough but have been reaching out to adjacent land owners to talk about leasing space for employee parking during construction and have a few that are willing to talk.

New Hanover County

Department of Social Services & Health Department

Site Planning & Building Concept Design
October 21, 2016



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New Hanover County: Department of Social Services & Health Department Site Planning and Building Concept Design

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PROJECT SCOPE

This study is driven by the growth in New Hanover County's Social Services and Health departments, as well as the need expressed by New Hanover Regional Medical Center to redevelop the current Health Department buildings' site to better serve their medical center.

The scope is to analyze the Social Services and Health departments' current space use and project estimated growth for a 5-year period. Using this information, a study of the Social Services department's current site is created to determine what site development was necessary to house both the Social Services and Health department within a single building.

This is the context within which this study has been completed.

Discussion with City of Wilmington Planning:

Brian Chambers, Associate Planner

1. Project design will need to go through a Concept Design Review through the City of Wilmington.
 - a. The Concept Design Review will discuss traffic and transportation, utilities, stormwater, etc.
 - b. This should occur as soon as possible in the design process.
 - c. The more information provided during this review, the better.
 - i. Ex. An impervious surface count will be helpful for the stormwater review.
2. Building elevations will need to be reviewed by the City of Wilmington for material compliance.
3. City of Wilmington's traffic and transportation may require a driveway permit on 16th and 17th Streets, depending on whether or not site access is redesigned.
4. The project will need to go through City of Wilmington's TRC (Technical Review Committee).
5. Landscaping requirements will also be reviewed in TRC – see Article 8 of the City of Wilmington's Code of Ordinances.
6. The project will need to apply for a special use permit in order to have a building over 45'-0" on this site.
 - a. The following conditions must be met:
 - i. Maximum lot coverage: 35%
 - ii. Additional setback requirements are required only if the property is adjacent to a residentially used or zoned parcel.

Discussion with City of Wilmington Engineering:

Rob Gordon, Plan Review Engineer

1. City of Wilmington's current "rule of thumb" is if impervious surfaces are removed and replaced on the site, then the surface is treated as "new".
 2. Because there is no state stormwater permit history, this project will be a **Redevelopment Project**.
 - A permit was issued through the City of Wilmington with a payment in lieu of for the 1995-1997 building addition.
 - Only water quality will need to be addressed for new construction on site.
 3. Any water coming onto the site must be conveyed through the site.
-

Discussion with NC Department of Environment & Natural Resources:

Steven Pusey, Environmental Engineer (Stormwater)

1. The Department of Social Services building was built pre-1988, therefore, no state stormwater permit was required during initial construction.
2. A building addition was built in 1995-1996. Because the addition was less than one (1) acre of disturbed area, a state stormwater permit was not required at the time.
3. This project will be considered a **Redevelopment Project**.
 - New water quality control is only required if there is a net increase in impervious surfaces from the existing on site.
 - A Letter of Exclusion is given if the above applies.
4. Any pre-1988 impervious surfaces could be able to bypass any newly required impervious stormwater devices.

SITE ZONING MAP



CITY OF WILMINGTON ZONING LEGEND

- Office & Institutional
- Multi-Family
- Residential R-3 through R-20
- Urban Mixed Use



SITE FLOOD MAP



FLOOD HAZARD AREAS

- Zone AE
- Floodway (AE)
- 0.2% Chance Annual Flood Hazard



EXISTING SITE COMPARISON



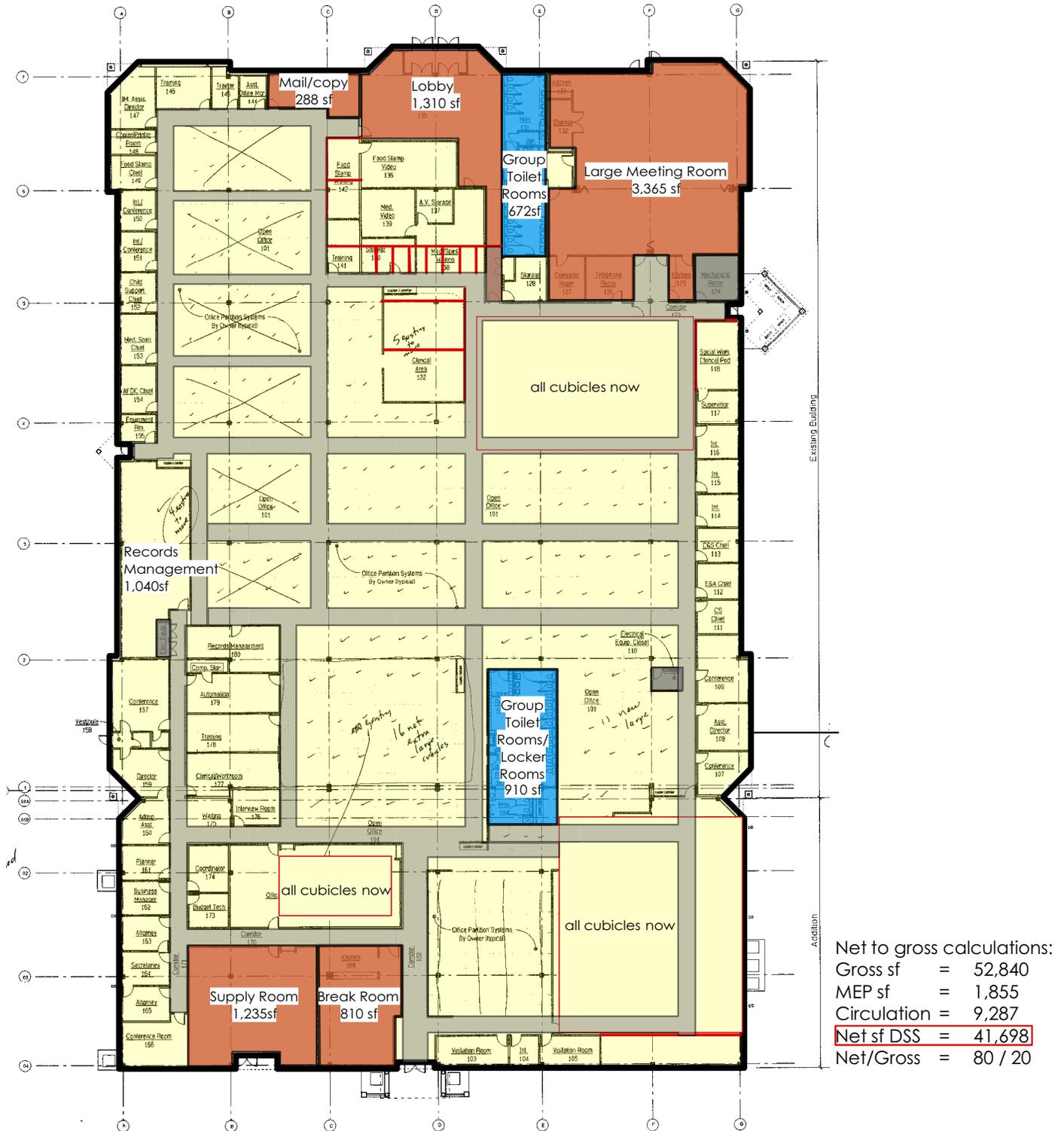
EXISTING SITE
DEPARTMENT OF SOCIAL SERVICES



EXISTING SITE
HEALTH DEPARTMENT



EXISTING SPACE ANALYSIS: Department of Social Services



EXISTING FLOOR PLAN
DEPARTMENT OF SOCIAL SERVICES



EXISTING SPACE ANALYSIS: Health Department



Clinic Building:
Building Envelope
16,089 sf

Clinic Building

Net to gross calculations:

Gross sf	=	16,089
MEP sf	=	1,260
Circulation	=	3,654
Net sf	=	11,175
Net/Gross	=	70 / 30

Net sf Health Dept.	=	9,243
Net sf DSS	=	1,130

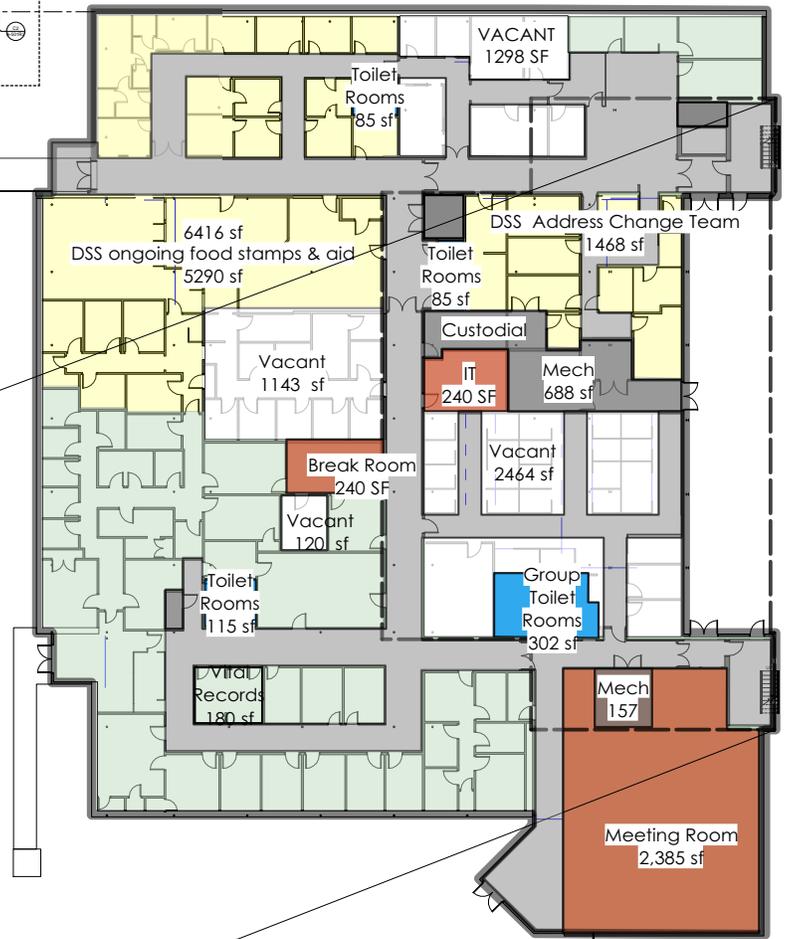
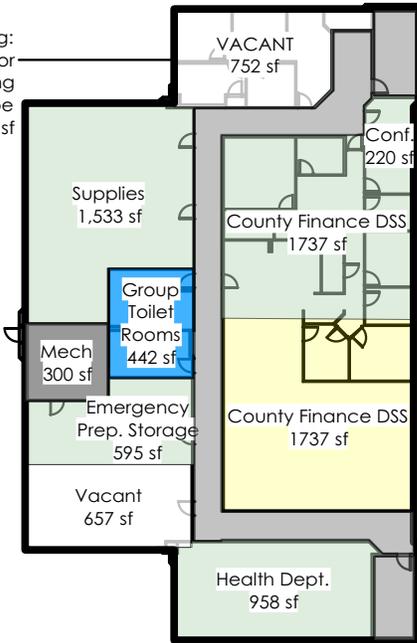
Health Dept. Building

Net to gross calculations:

Gross sf	=	37,452
MEP sf	=	2,110
Circulation	=	8,077
Net sf	=	27,265
Net/Gross	=	73 / 27

Net sf Health Dept.	=	13,772
Net sf DSS	=	6,919

Health Dept. Building:
2nd Floor
Building Envelope
10,405 sf



Health Dept. Building:
1st Floor
Building Envelope
27,050 sf

**EXISTING FLOOR PLANS
HEALTH DEPARTMENT**



EXISTING SPACE ANALYSIS: DEPARTMENT COMPARISON

Clinic Building
 Net to gross calculations:
 Gross sf = 16,089
 MEP sf = 1,260
 Circulation = 3,654
 Net sf = 11,175
 Net/Gross = 70 / 30

Net sf Health Dept. = 9,243
 Net sf DSS = 1,130

Health Dept. Building
 Net to gross calculations:
 Gross sf = 37,452
 MEP sf = 2,110
 Circulation = 8,077
 Net sf = 27,265
 Net/Gross = 73 / 27

Net sf Health Dept. = 13,772
 Net sf DSS = 6,919

Dept. of Social Services Building
 Net to gross calculations:
 Gross sf = 52,840
 MEP sf = 1,855
 Circulation = 9,287
 Net sf DSS = 41,698
 Net/Gross = 80 / 20

Clinic & Health Department Buildings
 Net sf Health Dept. = 23,015
 Net sf DSS = 8,049

Possible Shared Space:
 Lobby 1,310 sf
 Meeting Room 2,385 / 3,365 sf
 Mail/Copy 288 sf
 Break Room 240 / 810 sf
 IT 240 sf
 Supply Room 1,235 sf

Total DSS Net = 49,747 sf
 Total Health Department Net = 23,015 sf

<u>Existing NET SF:</u>	
DSS	49,747
Health Department	23,015
TOTAL NET	72,762

Shared Space: - 4,000

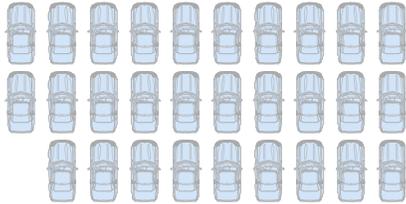
ADJUSTED NET 68,762

<u>Growth:</u>	72,381	5%
	76,402	10%

<u>Total Gross SF with projected growth:</u>		
	<u>gross sf</u>	<u>net:gross</u>
5% Growth	120,635	60/40 n:g
5% Growth	111,355	65/35 n:g
5% Growth	103,402	70/30 n:g
10% Growth	127,337	60/40 n:g
10% Growth	117,542	65/35 n:g
10% Growth	109,146	70/30 n:g

REQUIRED PARKING ANALYSIS

 = 10 VEHICLES



DSS Employees

315 available positions
- 12 off-site employees
- 26 employees out of the office daily
+13 for future growth
= 290 Total



Health Dept. Employees

83 available positions
- 15 employees out of the office daily
+7 for future growth
= 75 Total



DSS Vehicles

40 vehicles
- 20 stored off-site
+1 for future growth
= 21 Total



Health Dept. Vehicles

10 vehicles
+1 for future growth
= 11 Total



DSS Visitors

55 existing visitor parking spaces
+ 2 spaces for future growth
= 57 Total



Health Dept. Visitors

25 spaces for 125 patients per day
@ 1.5 hour average stay
+ 2 spaces for future growth
= 27 Total



= 481 Total Required Parking Spaces

FINDINGS:

1. The site is zoned in the City of Wilmington as O&I (Office & Institutional).
 - Dimensional requirements:
 - Minimum lot area (square feet): 15,000
 - Maximum lot coverage: 40%
 - Minimum lot width (feet): 80
 - Minimum front setback (feet): 20
 - Minimum rear setback (feet): 20
 - Minimum interior side setback (feet): 10
 - Minimum corner lot side setback (feet): 20
 - Height (feet): 45*

* Structures shall be limited to a maximum of 45 feet by right. Structures up to a maximum of 75 feet in height may be permitted upon the issuance of a **special use permit**
2. The north and north-east part of the site is in a flood hazard area.
3. Both departments must remain operational during design and construction; preferably in their current buildings.
4. An estimated total square footage required for both departments combined is **103,000 – 109,000 ft²**.
5. An estimated total number of vehicle parking required for both departments combined is **481 spaces**.

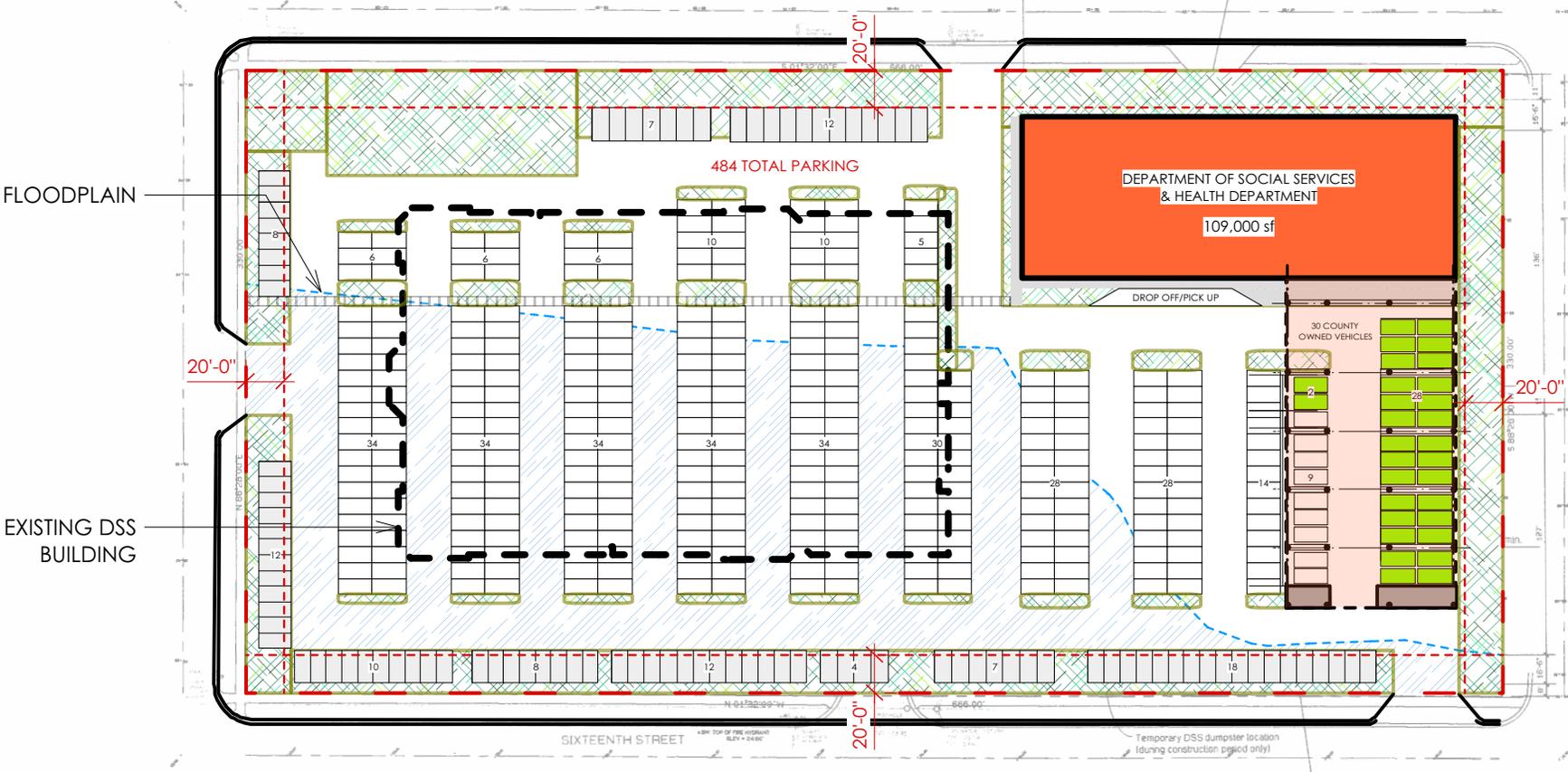
Site Development

- Site Plan Study
- Project Budget Opinion
 - Cost Precedent
 - 5% Projected Growth Rate
 - 10% Projected Growth Rate
- Additional Parking Study



ATTACHMENT A
SITE PLANNING & BUILDING CONCEPT DESIGN

SITE PLAN STUDY



	FLOOR 4 - 31,150 sf
	FLOOR 3 - 31,150 sf
	FLOOR 2 - 31,150 sf
	FLOOR 1 - 15,550 sf

ELEVATION @ 17TH STREET
ELEVATION @ FLOOR 1
ELEVATION @ 16TH STREET



PROJECT BUDGET OPINION: COST PRECEDENT

Costs provided by Monteith Construction:

Onslow County Human Services
3-story office building

Bid date: 2015

Size: 88,327 ft²

Cost: \$160 per ft²

Union County Human Services
3-story office building with basement

Bid date: 2015

Size: 144,000 ft²

Cost: \$142 per ft²

Average Cost: \$151 per ft²

New Hanover County's Department of Social Services & Health Department
Project Budget Opinion

103 K sf @ 5% Growth Rate

9/30/2016



A	Project Construction		cost/sf	
	New Office Building	103,400 sf	\$151	\$15,613,400
	Department of Social Services & Health Department			
	Existing Office Building Demolition	53,000 sf	\$8	\$424,000
B	Site utilities and storm drainage	3%		\$468,402
	save as much existing parking as possible.		/space	
	New Paved Parking	340 Spaces	\$2,500	\$850,000
	includes Walkways and Landscaping		subtotal	\$1,318,402
C	Furniture including		/person	
	Open office systems, conf & closed office furniture	223 People	\$6,000	\$1,338,000
	reuse and match health clinic furniture			
				\$1,338,000
D	Professional Fees (A through C) Architect & Engineers		7.50%	\$1,402,035
E	Administrative Costs (A through C) site survey, soil borings, construction testing Site Survey, Special Inspections, Commisioning		2.00%	\$373,876
F	Construction Inflation (A through C) construction 2017-2018		2.00%	\$373,876
G	Contingency (A through C)		5.00%	\$934,690
H	<u>Total Project Budget Opinion (A through G)</u>			\$21,778,279

New Hanover County's Department of Social Services & Health Department
Project Budget Opinion

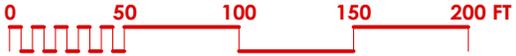
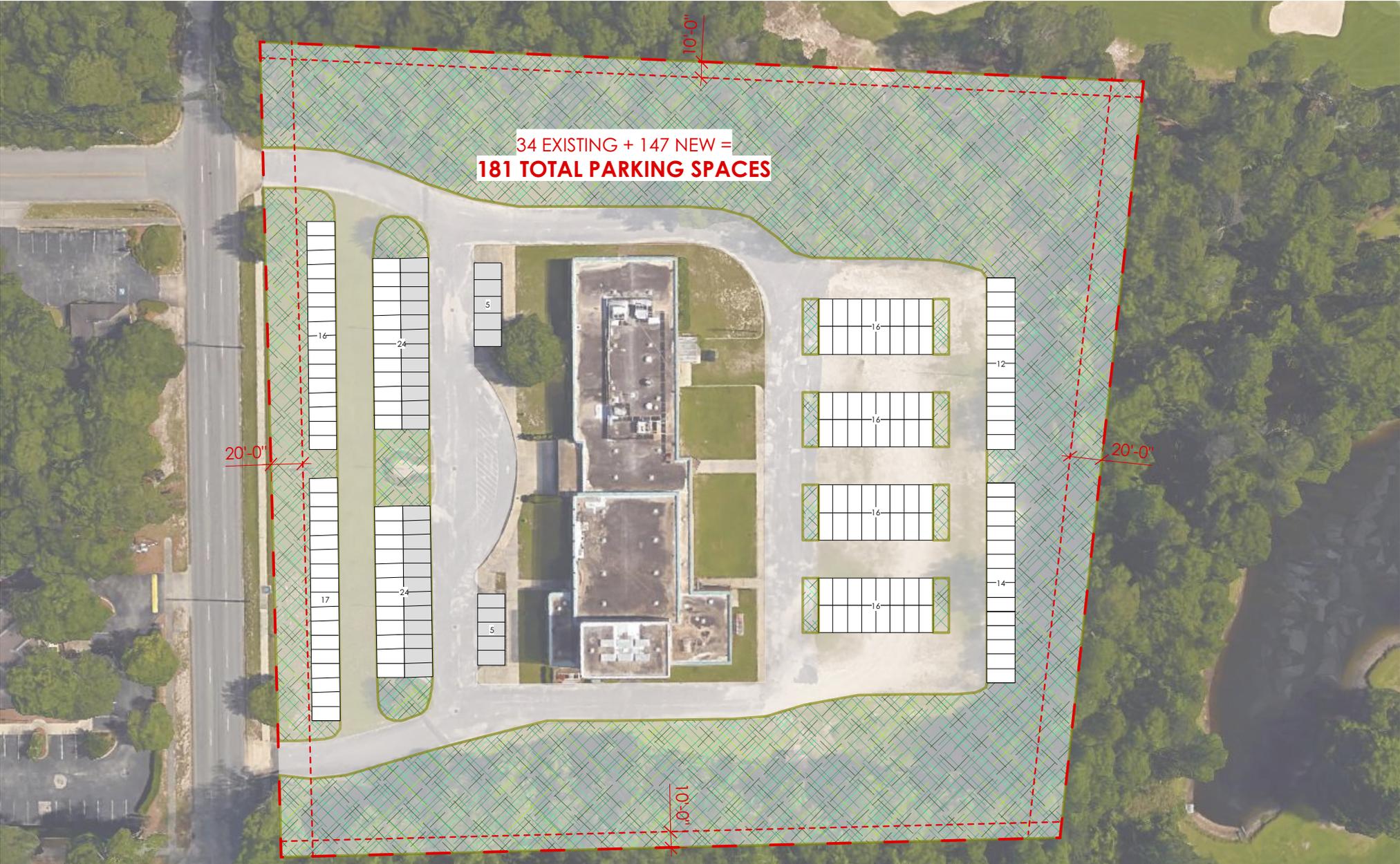
109 K sf @ 10% Growth Rate

9/28/2016



A	Project Construction		cost/sf	
	New Office Building	109,000 sf	\$151	\$16,459,000
	Department of Social Services & Health Department			
	Existing Office Building Demolition	53,000 sf	\$8	\$424,000
B	Site utilities and storm drainage save as much existing parking as possible.	3%		\$493,770
	New Paved Parking includes Walkways and Landscaping	340 Spaces	/space \$2,500	\$850,000
			subtotal	\$1,343,770
C	Furniture including Open office systems, conf & closed office furniture reuse and match health clinic furniture	223 people	/person \$6,000	\$1,338,000
				\$1,338,000
D	Professional Fees (A through C) Architect & Engineers		7.50%	\$1,467,358
E	Administrative Costs (A through C) site survey, soil borings, construction testing Site Survey, Special Inspections, Commisioning		2.00%	\$391,295
F	Construction Inflation (A through C) construction 2017-2018		2.00%	\$391,295
G	Contingency (A through C)		5.00%	\$978,239
H	<u>Total Project Budget Opinion (A through G)</u>			\$22,792,957

ADDITIONAL PARKING STUDY: Proposed Temporary Construction Phase Parking - Scottish Rite Temple

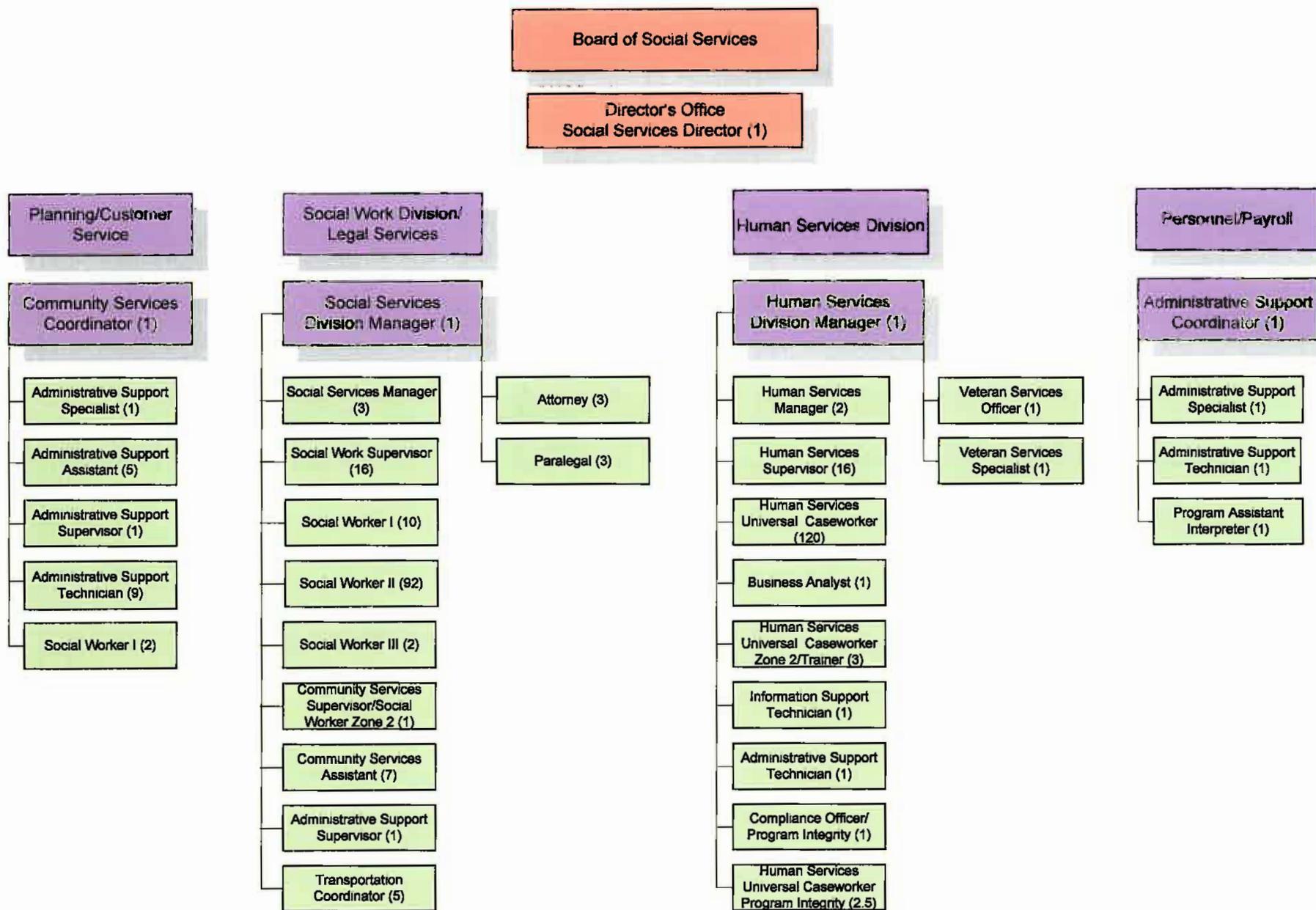


Additional Information

- Functional Organization Chart:
Department of Social Services
- Functional Organization Chart:
Health Department



Functional Organization Chart: Department of Social Services



Functional Organization Chart: Health Department

@ GOV CENTER

