



NEW HANOVER COUNTY FINANCE DEPARTMENT

ADDENDUM # 1

From: Lena L. Butler, Purchasing Supervisor
To: All Bidders
Project: MRF Improvements-RFB # 15-0359
Date: June 15, 2015

This addendum is being issued to answer questions and issue clarifications for “RFB # 15-0359-MRF IMPROVEMENTS” and is hereby made a part of said Request for Bids to the same extent as though it were originally therein.

1. The plans clearly show that the fire alarm system is to be installed in the administration building where the pre-bid was held. Yet it was stated in the pre-bid that the system is for the soon to be renovated building behind the facility. If this is true, please reissue correct design.
The plans are correct – the fire alarm is for the office building where we met.
2. 60 days project time is not realistic. 120 days would be aggressive for this work.
The project must be complete by the timeline outlined in order to meet contractual obligations. If you do not have the capability and resources to meet the deadline, please do not bid.
3. The plans show that the north wall will be in filled by others. Please verify. **This is referring to the fill dirt being placed by the demolition contractor.**
4. There is nothing on the plans regarding lighting or electrical work for building other than the new riser room. It would good to have access to original electrical drawings especially as they relate to slab demolition. I am sure that proper exit lighting will be required. **The only electrical in the scope for this project is outlined on the plans. As stated in the meeting this project is similar to a “shell” building project where it will not necessarily meet all of the requirements for a certificate of occupancy but will be ready for up fit.**
5. Can the old slab be used as fill for the pit?
Re-using Slab as Fill: I discussed this with a geotechnical engineer. If we re-use the tipping floor slab as part of our fill, it should be crushed to match the gradation requirements of DOT ABC stone. The rebar should be separated and removed. Some small pieces of welded wire mesh or other steel may get through, and that would be acceptable.

6. Corrections/Clarifications to plans:
The inside pit will require at least 32 feet of structural fill for half the length of the pit and 14 feet of structural fill for the second half, it appears that the bottom of the pit is reinforced concrete slab with some water, little debris, and muck. All of this material will need to be removed in order to place the fill. Please note that the structural general notes for backfill lists the fill to be placed in 4 foot lifts (4'), this should be 1 foot lifts (1') – plans have been revised. Also S&ME will be on site on a full time basis observing the fill placement and performing compaction testing per the general notes and statement of SI.

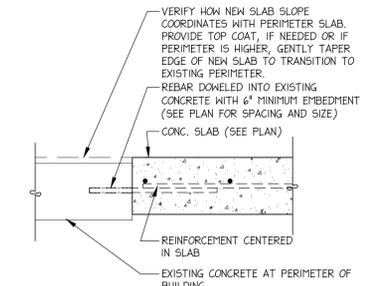
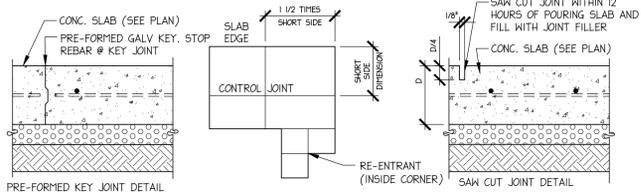
7. Please provide unit pricing for geotextiles such as a woven fabric and geogrid. Such geogrids could consist of Tensar BX1200 or equivalent, and woven fabrics such as Mirafi 500X or equivalent.

Attachments:

1. Recycling Center Base Plan/ R1-S1
2. Recycling Center Base Plan/R1 Alternate S1
3. Recycling Center Base Plan/R1-S3
4. Revised Page 3 of Bid Proposal Form

CONTROL JOINT NOTES:

1. PROVIDE CONTROL JOINTS TO PREVENT UNSIGHTLY EXPANSION/CONTRACTION CRACKING OF THE SLAB.
2. THE CONTROL JOINTS SHOULD FORM AN APPROXIMATE SQUARE $\frac{W}{L}$ ANY LONGER SIDE BEING NO MORE THAN $1\frac{1}{2}$ TIMES LONGER THAN SHORT SIDE.
3. MAXIMUM LENGTH OF LONGEST CONTROL JOINT SHALL NOT EXCEED A.C.I. STANDARDS.
4. CONTROL JOINTS TO EITHER BE SAW CUTS OR PREFORMED KEY JOINTS.
5. D_v SLAB DEPTH/SLAB THICKNESS
6. CONTROL JOINTS SHOULD BE PLACED AT RE-ENTRANT CORNERS AND OTHER AREAS LIKELY TO INDUCE CRACKS.

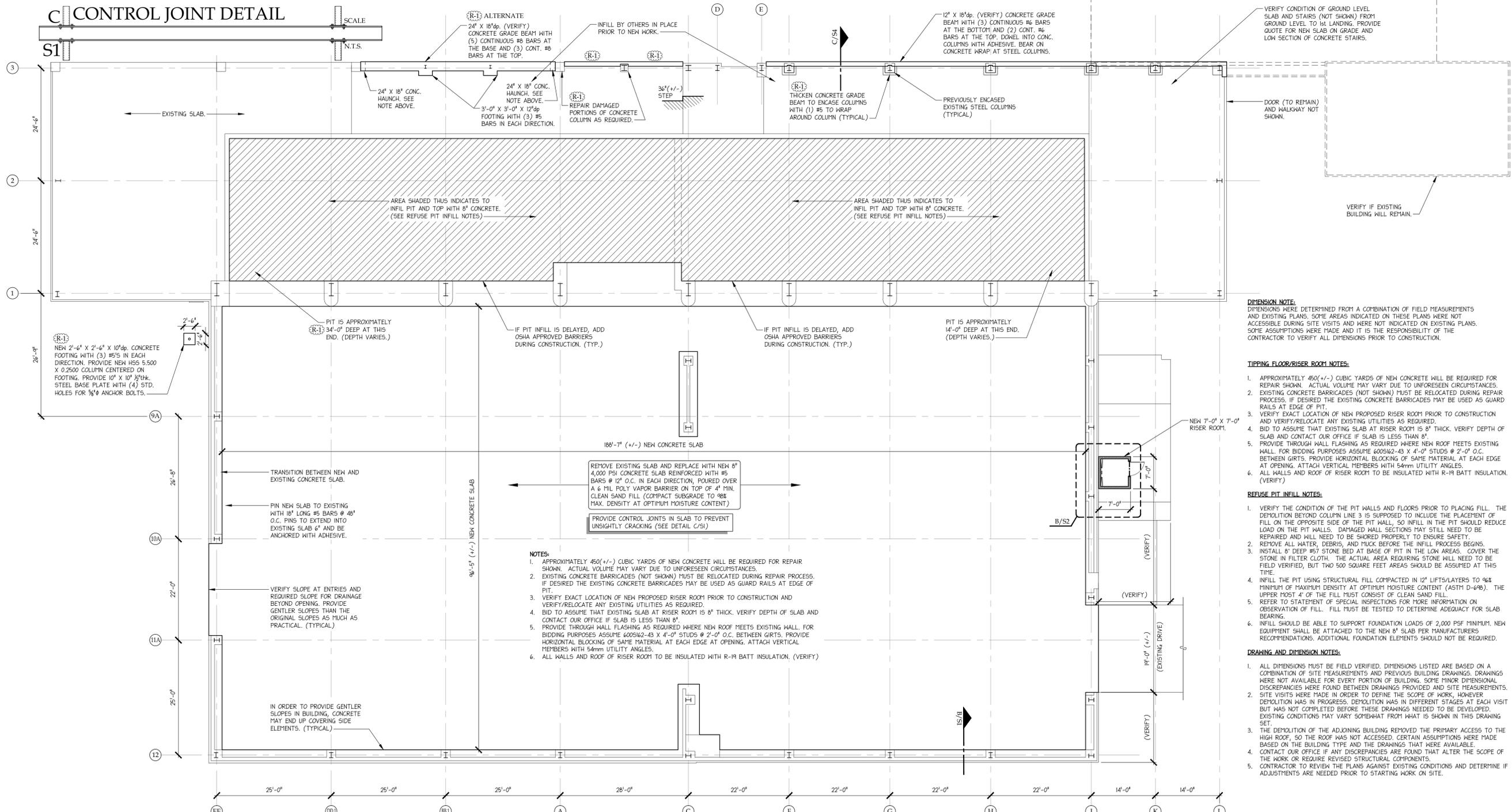


HAUNCH NOTE:
 PROVIDE 24"dp. BY 12" CONCRETE HAUNCH BELOW GRADE BEAM. HAUNCH WILL HAVE (5) #5 "C" SHAPED BARS WITH 4" MINIMUM EMBEDMENT INTO EXISTING COLUMN ATTACHED WITH ADHESIVE. PROVIDE (2) #5 BARS PERPENDICULAR TO "C" BARS AT TOP AND (1) #5 AT THE BOTTOM.

EXISTING STRUCTURE:
 DRAWINGS ASSUME BUILDING WILL BE REMOVED PRIOR TO NEW WORK AND AREA WILL BE PREPARED FOR NEW WORK SHOWN ON THESE DRAWINGS. IF BUILDING REMAINS, NEW SIDING WILL TERMINATE OVER ITS ROOF AND APPROPRIATE FLASHING WILL BE REQUIRED. ALSO, APPROPRIATE RETAINING WALLS AND COLUMN PROTECTION WILL BE REQUIRED AND NEED TO BE IN PLACE BEFORE WORK ON COLUMN LINE 3 CAN PROCEED.

B SLAB DETAIL
 SCALE 1" = 1'-0"

C CONTROL JOINT DETAIL
 SCALE N.T.S.



DIMENSION NOTE:
 DIMENSIONS WERE DETERMINED FROM A COMBINATION OF FIELD MEASUREMENTS AND EXISTING PLANS. SOME AREAS INDICATED ON THESE PLANS WERE NOT ACCESSIBLE DURING SITE VISITS AND WERE NOT INDICATED ON EXISTING PLANS. SOME ASSUMPTIONS WERE MADE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

- TIPPING FLOOR/RISER ROOM NOTES:**
1. APPROXIMATELY 450(+/-) CUBIC YARDS OF NEW CONCRETE WILL BE REQUIRED FOR REPAIR SHOWN. ACTUAL VOLUME MAY VARY DUE TO UNFORESEEN CIRCUMSTANCES.
 2. EXISTING CONCRETE BARRICADES (NOT SHOWN) MUST BE RELOCATED DURING REPAIR PROCESS. IF DESIRED THE EXISTING CONCRETE BARRICADES MAY BE USED AS GUARD RAILS AT EDGE OF PIT.
 3. VERIFY EXACT LOCATION OF NEW PROPOSED RISER ROOM PRIOR TO CONSTRUCTION AND VERIFY/RELOCATE ANY EXISTING UTILITIES AS REQUIRED.
 4. BID TO ASSUME THAT EXISTING SLAB AT RISER ROOM IS 8" THICK. VERIFY DEPTH OF SLAB AND CONTACT OUR OFFICE IF SLAB IS LESS THAN 8".
 5. PROVIDE THROUGH WALL FLASHING AS REQUIRED WHERE NEW ROOF MEETS EXISTING WALL. FOR BIDDING PURPOSES ASSUME 6009162-43 X 4'-0" STUDS @ 2'-0" O.C. BETWEEN GIRTS. PROVIDE HORIZONTAL BLOCKING OF SAME MATERIAL AT EACH EDGE AT OPENING. ATTACH VERTICAL MEMBERS WITH 54mm UTILITY ANGLES.
 6. ALL WALLS AND ROOF OF RISER ROOM TO BE INSULATED WITH R-19 BATT INSULATION. (VERIFY)

- REFUSE PIT INFILL NOTES:**
1. VERIFY THE CONDITION OF THE PIT WALLS AND FLOORS PRIOR TO PLACING FILL. THE DEMOLITION BEYOND COLUMN LINE 3 IS SUPPOSED TO INCLUDE THE PLACEMENT OF FILL ON THE OPPOSITE SIDE OF THE PIT WALL, SO INFILL IN THE PIT SHOULD REDUCE LOAD ON THE PIT WALLS. DAMAGED WALL SECTIONS MAY STILL NEED TO BE REPAIRED AND WILL NEED TO BE SHORED PROPERLY TO ENSURE SAFETY.
 2. REMOVE ALL WATER, DEBRIS, AND TRUCK BEFORE THE INFILL PROCESS BEGINS.
 3. INSTALL 8" DEEP #57 STONE BED AT BASE OF PIT IN THE LOW AREAS. COVER THE STONE IN FILTER CLOTH. THE ACTUAL AREA REQUIRING STONE WILL NEED TO BE FIELD VERIFIED, BUT TWO 500 SQUARE FEET AREAS SHOULD BE ASSUMED AT THIS TIME.
 4. INFILL THE PIT USING STRUCTURAL FILL COMPACTED IN 12" LIFTS/LAYERS TO 96% MINIMUM OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT (ASTM D-698). THE UPPER MOST 4" OF THE FILL MUST CONSIST OF CLEAN SAND FILL.
 5. REFER TO STATEMENT OF SPECIAL INSPECTIONS FOR MORE INFORMATION ON OBSERVATION OF FILL. FILL MUST BE TESTED TO DETERMINE ADEQUACY FOR SLAB BEARING.
 6. INFILL SHOULD BE ABLE TO SUPPORT FOUNDATION LOADS OF 2,000 PSF MINIMUM. NEW EQUIPMENT SHALL BE ATTACHED TO THE NEW 8" SLAB PER MANUFACTURER'S RECOMMENDATIONS. ADDITIONAL FOUNDATION ELEMENTS SHOULD NOT BE REQUIRED.

- DRAWING AND DIMENSION NOTES:**
1. ALL DIMENSIONS MUST BE FIELD VERIFIED. DIMENSIONS LISTED ARE BASED ON A COMBINATION OF SITE MEASUREMENTS AND PREVIOUS BUILDING DRAWINGS. DRAWINGS WERE NOT AVAILABLE FOR EVERY PORTION OF BUILDING. SOME MINOR DIMENSIONAL DISCREPANCIES WERE FOUND BETWEEN DRAWINGS PROVIDED AND SITE MEASUREMENTS.
 2. SITE VISITS WERE MADE IN ORDER TO DEFINE THE SCOPE OF WORK, HOWEVER DEMOLITION WAS IN PROGRESS. DEMOLITION WAS IN DIFFERENT STAGES AT EACH VISIT BUT WAS NOT COMPLETED BEFORE THESE DRAWINGS NEEDED TO BE DEVELOPED. EXISTING CONDITIONS MAY VARY SOMEWHAT FROM WHAT IS SHOWN IN THIS DRAWING SET.
 3. THE DEMOLITION OF THE ADJOINING BUILDING REMOVED THE PRIMARY ACCESS TO THE HIGH ROOF, SO THE ROOF WAS NOT ACCESSED. CERTAIN ASSUMPTIONS WERE MADE BASED ON THE BUILDING TYPE AND THE DRAWINGS THAT WERE AVAILABLE.
 4. CONTACT OUR OFFICE IF ANY DISCREPANCIES ARE FOUND THAT ALTER THE SCOPE OF THE WORK OR REQUIRE REVISED STRUCTURAL COMPONENTS.
 5. CONTRACTOR TO REVIEW THE PLANS AGAINST EXISTING CONDITIONS AND DETERMINE IF ADJUSTMENTS ARE NEEDED PRIOR TO STARTING WORK ON SITE.

GENERAL NOTE:
 ENGINEER RESPONSIBLE FOR ALL STRUCTURAL COMPONENTS ON THIS DRAWING. ALL DIMENSIONS AND DETAILS MAY NOT BE SHOWN ARE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR IS TO VERIFY WITH ENGINEER ANY ADDITIONAL DETAILS REQUIRED FOR CONSTRUCTION. PLEASE CONTACT OUR OFFICE IF ANY DISCREPANCIES ARE FOUND.

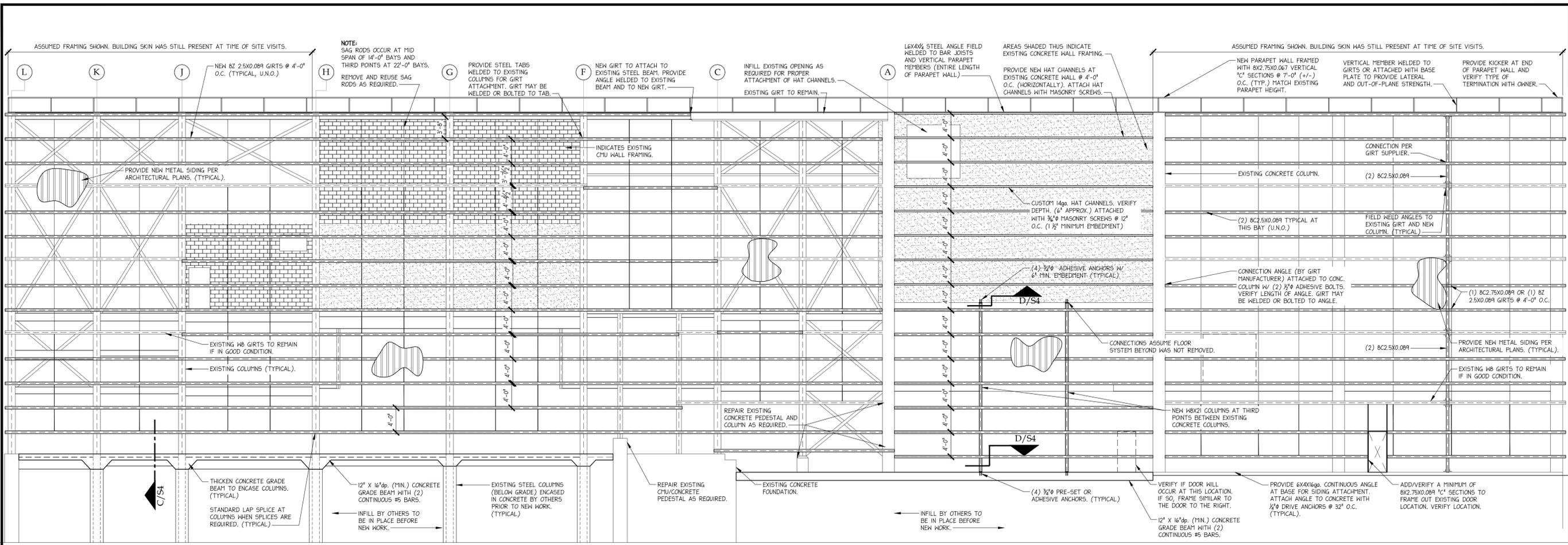
A FOUNDATION PLAN
 SCALE 3/32" = 1'-0"

NO.	REVISION	DATE	INTL	DATE
1		05-29-2015		

New Hanover County Recycling
 3002 US-421
 Wilmington, NC
 PROJECT DESCRIPTION: REPAIR PLAN & RISER ROOM
 DRAWN BY: D.N.U. DATE: 05-29-2015
 PROJECT NO: 15060
 DESIGNED BY: W.D.J.

WD JONES ENGINEERING, PLLC
 NORTH CAROLINA PROFESSIONAL SEAL 025852
 ENGINEER
 W.D. JONES
 15/15
 CORPORATE SEAL P-1161
 N.C.

WD JONES ENGINEERING, PLLC
 EMAIL: OFFICE@WDJONESENGINEERING.COM
 PHONE: 910-523-5381
 100 B OLD EASTWOOD ROAD, UNIT 24
 WILMINGTON, N.C. 28403

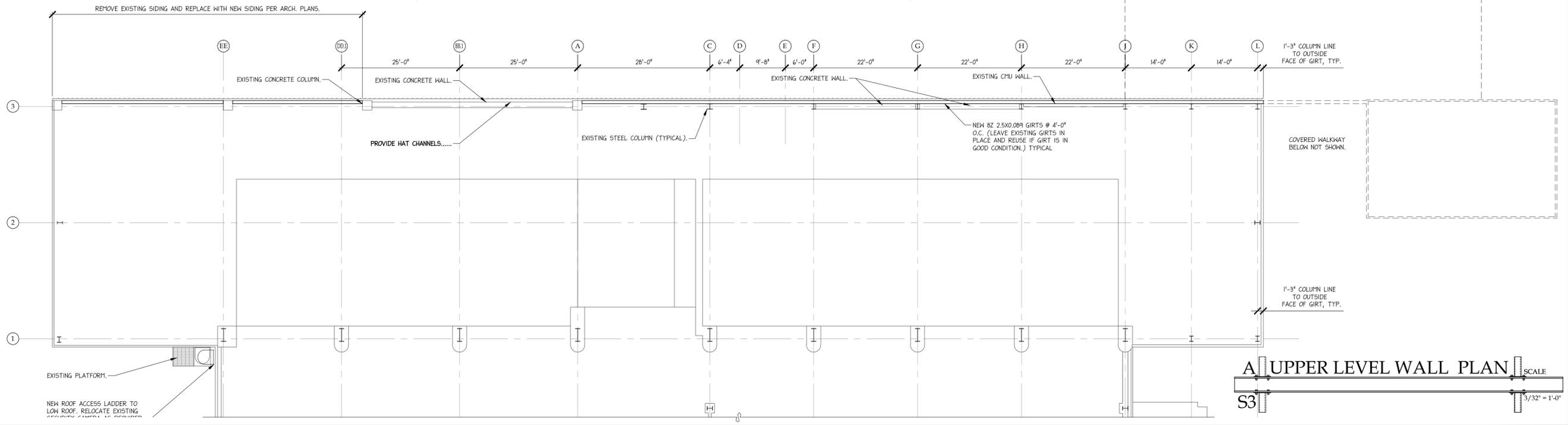


B FRAMING ELEVATION AT COLUMN LINE "3" SCALE 1/8" = 1'-0"

DIMENSION NOTE:
DIMENSIONS WERE DETERMINED FROM A COMBINATION OF FIELD MEASUREMENTS AND EXISTING PLANS. SOME AREAS INDICATED ON THESE PLANS WERE NOT ACCESSIBLE DURING SITE VISITS AND WERE NOT INDICATED ON EXISTING PLANS. SOME ASSUMPTIONS WERE MADE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

- GIRT NOTES:**
1. FIELD VERIFY CONNECTION REQUIREMENTS.
 2. ALL GIRTS SHALL BE COLD FORMED C OR Z SECTIONS WITH STIFFENED FLANGES COMPLYING WITH AISI STANDARDS.
 3. PRE-PUNCH GIRTS FOR LAP SPLICES AT COLUMNS AND ANGLE CONNECTORS AT CONCRETE COLUMNS OR FIELD WELD ALL LAPS AND CONNECTOR ANGLES TO GIRTS.
 4. CONNECTION BOLTS MUST BE INSTALLED THROUGH THE WEB OF THE GIRTS - NOT THROUGH FLANGES.
 5. GIRT INSTALLER SHALL SUBMIT SEALED SHOP DRAWINGS FOR THE GIRTS AND AFFILIATED MATERIALS SUCH AS BASE ANGLES, CONNECTOR ANGLES, SAG RODS, ETC.
 6. SEALED SHOP DRAWINGS MUST INCLUDE THE GRADE OF STEEL FOR THE GIRTS AND NOTE THE FINAL DESIGN SIZE FOR THE GIRTS.

EXISTING STRUCTURE:
DRAWINGS ASSUME BUILDING WILL BE REMOVED PRIOR TO NEW WORK AND AREA WILL BE PREPARED FOR NEW WORK SHOWN ON THESE DRAWINGS. IF BUILDING REMAINS, NEW SIDING WILL TERMINATE OVER ITS ROOF AND APPROPRIATE FLASHING WILL BE REQUIRED. ALSO, APPROPRIATE RETAINING WALLS AND COLUMN PROTECTION WILL BE REQUIRED AND NEED TO BE IN PLACE BEFORE WORK ON COLUMN LINE 3 CAN PROCEED.



NO.	REVISION	DATE	BY	CHKD.
1		05-29-2015		

DESIGNED BY: W.D.J.

PROJECT NO.: 15060

DATE: 05-29-2015

DRAWN BY: D.N.U.

PROJECT DESCRIPTION: REPAIR PLAN & RISER ROOM

3002 US-421
Wilmington, NC

New Hanover County Recycling

W.D. JONES ENGINEERING, PLLC
CORPORATE
SEAL P-1161
N.C.

W.D. JONES ENGINEERING, PLLC
EMAIL: OFFICE@WDJONESENGINEERING.COM
PHONE: 910-523-5381
100 B OLD EASTWOOD ROAD, UNIT 24
WILMINGTON, N.C. 28403

SHEET S3 OF 4

Bidder's Name: _____

- | | |
|--|----------|
| 1. Base Bid | \$ _____ |
| 2. Contingency Allowance
(5% of Base Bid) | \$ _____ |
| Total Bid | \$ _____ |

Should the undersigned be required to perform work over and above that required by the Contract Documents, or should he/she be ordered to omit work required by the Contract Documents, he/she will be paid an extra, or shall credit the Owner, as case may be on the basis of unit prices stated herein.

Unit Price: Unsuitable Soil Removal \$ _____ per cubic yard

Unit Price: Suitable Soil Replacement \$ _____ per cubic yard

Unit Price: Concrete \$ _____ per cubic yard

Unit Price: Geogrid (Tensar BX1200) \$ _____ per square foot

Unit Price: Woven fabric (Mirafi 500X) \$ _____ per square foot

The Contractor is hereby notified that the Contract will contain a Liquidated Damages Clause.

A. Performance and Delivery Time:

The Contractor shall begin work on or before the "commence work" date specified in the **NOTICE TO PROCEED** issued by the Owner and as set forth in the plans, specifications, and proposal. All work shall be completed in all events on or before the date set forth in the **NOTICE TO PROCEED**.

B. Liquidated Damages:

Since actual damages for any delay in the completion of the work which the contractor is required to perform under this contract are or will be difficult to determine, the contractor and his /her sureties shall be liable for and shall pay to the Owner the sum of **\$500** as